



## PROPERTY CONDITION REPORT

**Wilbur's Widget Manufacturing Building**  
1234 Doobiewood Drive  
Asheville, North Carolina 27909



### Prepared For:

George's Leasebacks LLC Corporation  
Mr. George Willet  
PO Box 123  
Willetdale, NC 27909

### Prepared By:

Robert E McCoy Jr., PE  
Armco Inspections, LLC

Date of Site Review: March 5, 2012  
Date of Report: March 12, 2012

ARMCO Project Number 12-14211.1



**March 12, 2012**

George's Leasebacks LLC Corporation  
Mr. George Willet  
PO Box 190  
Willetdale, NC 27909

**RE:** Property Condition Assessment  
Wilbur's Widget Manufacturing Building  
1234 Doobiewood Drive  
Asheville, North Carolina 27909

**ARMCO PROJECT NO. 12-14211.1**

Dear Mr. Willet:

ARMCO Inspections, LLC – (ARMCO) has completed a limited scope Property Condition Assessment (PCA) of the above referenced property. The report was conducted in part per the American Society for Testing and Materials (ASTM) Standard Guide for Property Condition Assessments: Baseline Property Condition Assessment Process E 2018-08, Standard & Poor's Property Condition Assessment Criteria and the general scope of work agreed to with the client and generally accepted industry standards. An infrared survey of interior surfaces (ceilings and walls) was also performed to detect possible points of roof or plumbing leakage.

The Property Condition Report consists of this Introduction, the Findings Summary and Recommendations, Supporting Photographs and Supporting documentation presented in a single PDF.

ARMCO certifies that to the best of its knowledge this report is true and accurate. We hope you find the report complete and informative. Please do not hesitate to contact us if you have any questions or if we can be of further service to you.

Sincerely,

**ARMCO INSPECTIONS, LLC**

A handwritten signature in black ink that reads "REMcCoy Jr." in a cursive, slightly slanted script.

Robert E McCoy Jr., PE  
Principal

## **Findings Summary and Recommendations:**

### **Findings:**

1. Asphalt is original, in generally good condition and has never been seal-coated
2. Damaged-deteriorated window frame caulk at north side with possibly exposed wall interiors
3. Stair-step and through-block cracking noted in CMU exterior walls at south elevation along drainage area along with separated expansion joint caulk in the same area. Block cracking confirmed on the wall interior at the Canter Electric rear warehouse area.
4. Two electrical main distribution panels at Henderson Mechanical rated for 200 ampere maximum breakers – 225 ampere breakers noted installed as specified in construction documents provided.

### **Recommendations:**

1. Seal-coating to maximize the asphalt life to the expected useful limit of 25 years along with re-striping of parking area stalls including ADA parking
2. Replace window frame caulk as a matter of immediate need to inhibit water entry
3. Further examination by a structural specialist (PE) with soils experience to provide remedies and/or repair specifications as may be necessary for the wall and general area with respect to effective drainage.
4. Further examination of the breaker/panel sizing by an independent electrical contractor to assure proper future performance.
5. Secure building warranty documentation as is available (roof, HVAC, envelope, etc)

**Wilbur's Widget Manufacturing Building**

<b>1.0 PROPERTY SUMMARY</b>	
Street Address:	1234 Doobiewood Drive
City, State Zip:	Asheville, North Carolina 27909
Primary Use:	Warehouse/Office
Year Built & Age:	1995
Reported Occupancy:	100%
Number of Buildings:	One
Number of Stories:	One
Total Building Area:	25,000 square feet
Reported Site Area:	2 acres
No. of Reported On-Site Parking Spaces:	25 spaces per plans
No. of On-Site Accessible Parking Spaces:	2
No. of On-side Van-accessible Parking Spaces	1 per plans
Code Classification Construction Type	Not Provided
Superstructure:	Steel frame with non load-bearing concrete masonry unit (CMU) exterior walls
Cellar/Basement/Crawl Space:	No
Exterior Facade(s) :	Painted CMU, Unpainted Split-Faced CMU and Unpainted brick
Roof(s):	Standing seam prefinished metal
Heating:	(4) Split system heat-pumps (2-Trane models TWP/TWA... & 2-Goodman (Tenant)
Air-conditioning:	(4) Split system heat-pumps (2-Trane models TWP/TWA... & 2-Goodman (Tenant)
Electrical Wiring:	208/120 volts, 3 phase-4 wire underground service to a single utility meter
Number of Elevators:	None
Fire Sprinklers:	None
Site Visit Performed By:	Robert E. McCoy Jr., P.E.

<b>2.0 DESIGN PROFESSIONALS OF RECORD</b>	
<b>Discipline</b>	<b>Consultant/Document Description</b>
Geotechnical	None Provided
Civil	None Provided
Architectural	None Provided
Structural	Abbreviated Construction Plans by Architect
Mechanical/ Electrical/Plumbing	Abbreviated Construction Plans by Architect

<b>Wilbur's Widget Manufacturing Building</b>		
Fire & Life Safety	None Provided	
<b>3.0 SUBJECT PROPERTY DESCRIPTION AND OBSERVATIONS</b>		
<b>3.1 Utility Service Providers</b>		
Utility	Provider	Issues/Adequacy
Water	City of Asheville	No issues
Sanitary Sewer	City of Asheville	No issues
Electricity	Duke Energy	No issues
Gas Service	PSNC	No issues
<b>3.2 Site Improvements</b>		
Topography	Site topography is generally level to gently sloped, consistent with the overall surrounding area.	Good
Site Access and Traffic Flow	Access & egress is provided from two driveway entrances along Doobiewood Drive.	Good
Site Drainage	Storm drainage is accomplished by surface runoff to street catchbasins and a rip-rap lined drainage ditch at the south parcel border. <span style="color: red;">The property appears to be properly graded for storm water discharge, however, the grounds between the building south elevation and drainage ditch are overgrown which will inhibit natural run-off and soil drying.</span>	Good to Fair
Paving	Surface parking areas and circulation drives are paved with asphalt. Concrete pavement is provided at the loading dock. Paving was in good condition. Periodic seal coating and striping are recommended to achieve the expected useful life of 25 years.	Good
Curbs and Wheel stops	The property has 6x6 landscape timbers as driveway border.	Good
Striping	Parking stalls in the parking lot are striped with painted lines. Periodic re-striping of parking stalls is recommended due to normal wear and tear.	Fair/poor
Traffic Pattern signage	None provided or necessary	N/A
Sidewalks & Flatwork	Pedestrian walkways at the front and north elevation is provided by poured concrete sidewalks.	Good
Accessibility path	See Section 4.0	
Parking & Site Lighting	Exterior lighting is provided by wall-mounted lights provided along building perimeters. Nighttime observations of the site were not conducted, however lights appeared to be in fair to good condition.	Good
Landscaping	Landscaping is provided along the site and building perimeter areas. Landscaping consists of grass-surfaced lawn sections, trees, and shrubs in planter areas. The level of landscaping appears to be appropriate for an industrial building. The area at the south parcel border adjacent to the drainage ditch is overgrown – see Site Drainage for	Good to Fair

<b>Wilbur's Widget Manufacturing Building</b>		
	additional comment.	
Irrigation System	None noted or reported	N/A
Retaining Walls	None present.	N/A
Waste Storage Area	Solid waste appears to be collected in trash dumpsters in the rear service and driveways. Site housekeeping appears to be adequate.	Good
Fences & Visual Screens	The property rear service area and driveways are enclosed in a chain-link fence that is topped with barbed wire.	Good
Site and Building Signage	The project has a façade type identification signage. Signage appears to be appropriate for a property of this type.	Good
Site Amenities/Recreational Facilities	None present.	N/A
<b>3.3 Building Structure</b>		
Soils/Geotechnical Report	Not provided for review.	
Foundation	According to the limited building plans provided, the subject building is supported by conventional poured concrete slab-on-grade foundations enclosed within spread, continuous exterior wall footings with isolated reinforced concrete pad foundations at structural columns. <b>Evidence of possible settlement was noted at the south elevation with cracking in the CMU wall and separation of the adjacent expansion joint caulk. See additional comment in the Exterior wall section below. Armco recommends further investigation by a structural design professional with soils experience for direction on this issue along with recommendations for remedy as may be required.</b>	<b>Further Investigation as noted - overall walls in good condition</b>
Framing System(s)	The subject building is of steel frame construction. Structural elements include I-beam and custom steel shapes for columns, closed web steel girders and "z" channel roof system support. Clear ceiling height in the warehouse area is estimated to be 25 feet. The wall between the two tenant spaces consists of concrete masonry unit with gypsum wallboard surfacing in the office areas. Steel structural elements appear to be performing satisfactorily, with evidence of distress or failure not observed.	Good
On-Grade Floor Structure	The building has a poured concrete slab on grade of unspecified thickness.	Good
Upper Level Floor Structure	None present.	N/A
Roof Structure & Decking	The roof deck, if any was not visible due to the presence of sheet insulation with vapor barrier. The roof system is supported by "z" channel that is supported by the steel superstructure.	Good

<b>Wilbur's Widget Manufacturing Building</b>		
Decks & Balconies	None present.	N/A
Expansion Joints	Expansion joints noted in the CMU exterior walls was noted in good condition at all but the south elevation where it requires replacement due to separation and cracking	Good to Poor
Stair Structure	None present.	N/A
Railing & Guard Rails	None present.	N/A
Parking Structure	None present.	N/A
Carport Structure	None present.	N/A
Equipment Supports	None present.	N/A
<b>3.4 Building Exterior – ROOF</b>		
Roof Access	None Provided	N/A
Roofing System	The roof membrane assembly consists of Standing-seam metal – no leakage evidence noted or reported.	Good
Insulation	The roof insulation beneath the roof assembly appears to be vinyl covered sheet that is supported by the “z” channel	Good
Active Leaks	No active leaks were reported and none were known to exist.	N/A
Parapets	A single parapet wall is installed along the front or east elevation.	Good
Roof Flashing	Not directly observed. Rubber boots are reportedly installed at waste vents with metal flashing at the Natural gas space heater flue	Good
Roof Expansion Joints	None assumed to be present	N/A
Roof Drainage	The roofs drained positively from the center of the building (apex runs east to west) to aluminum gutter and downspout assemblies located on the north and south elevations at roof level.	Good
Skylights	In warehouse area – no leaks noted or reported	Good
Chimneys	Metal flue at space heater	Good
Roof Warranty	Requested but not provided – recommend securing this document if it exists	?
<b>3.5 Building Exterior – Walls, Windows</b>		
Exterior Wall/Facades	The building's exterior walls consist of unfinished brick, unpainted split-faced CMU and painted CMU” with accent bands. Exterior walls are generally in good condition with the exception of stair-step and some block through-cracking of the CMU wall at the south elevation adjacent to the drainage area. See the foundation section above for additional comment	Fair to Good
Control & Expansion Joints	Caulked joints between CMU panels were generally in good condition. Some separated/cracked joints were observed at the south elevation. These should be addressed as part of	Fair to Good

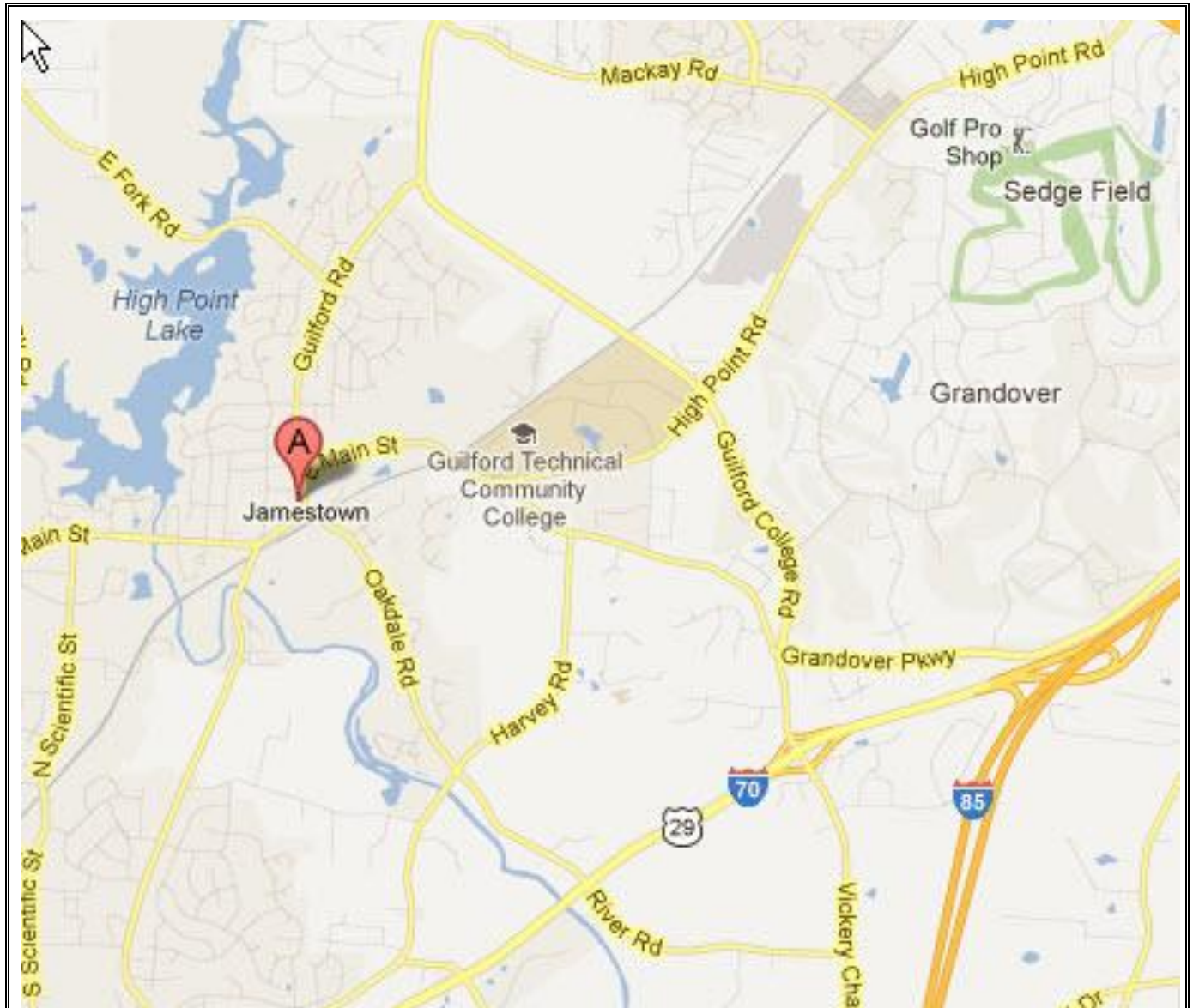
<b>Wilbur's Widget Manufacturing Building</b>		
	<b>suggested repairs, if any, stemming from a possible additional review by a structural/soils professional.</b>	
Trim & Details	None present.	N/A
Sealants	Information was not provided regarding whether the paint finish included a sealant application.	N/A
Thermal Insulation	According to the supplied drawings, wall insulation consists of fiberglass batts installed between metal studs	N/A
Glazing Systems/Windows	Front office areas have fixed windows with dual insulated glazing.	Good
Doors & Frames	Exterior doors include glass storefront type entrance doors with dual-glazed tempered glazing in aluminum frames. Other exterior doors are painted metal doors in metal frames. Loading docks have overhead roll-up metal doors.	Good
Window and Door frame caulk	<b>Caulk at several window frames at the north elevation was noted deteriorated or damaged and should be replaced immediately to inhibit stormwater entry to the wall cavities adjacent.</b>	<b>Good to Poor</b>
<b>3.6 Interior Improvements</b>		
Tenants Viewed	The subject building tenants (two total) contain front office space with dedicated office space and flex-space as well as and hi-ceiling/exposed structure warehouse/distribution & possible production space.	Fair to Good
Walls & Finishes	Interior walls in the tenant high-bay spaces are generally exposed structural elements and unpainted masonry walls. Interior walls in the front office space consists of painted drywall, most likely on metal studs, with painted finish and rubber base.	Good
Doors & Frames	Interior doors are typically solid core flush wood and metal in hollow metal frames.	Good
Ceilings	Ceilings in the office areas generally consist of suspended acoustic ceiling grids with 2' by 4' ceiling tiles. Warehouse areas have exposed structural elements.	Good
Floor Coverings	Flooring in the front office areas consists of carpeting, vinyl composition tile, and ceramic tile. Warehouse/production areas have exposed concrete floor slabs.	Good
Acoustical Insulation	No information was provided regarding padding or insulation details under carpeting or interior wall insulation.	NA
Millwork	None noted excepting the reception area cabinetry and countertops	Good
<b>3.7 Mechanical Systems</b>		
Heating, Cooling Equipment	The office areas are heated and cooled through a combination of split-system heat-pumps and one standard split-system air conditioner. The Canter Electric tenant has	Good



<b>Wilbur's Widget Manufacturing Building</b>		
	two approximately 3 ton heat pumps while the Henderson Mechanical areas are heated by one approximately 4 ton heat-pump and both heated and cooled by the one heat-pump and an additional standard split-system air conditioner. The total tonnage of the units is approximately 14 tons. The expected useful life of this equipment is approximately 15 to 20 years – all units were essentially original in 1998 and 14 years of age.	
Interior Space Heating Equipment	The warehouse areas are equipped with a single gas-fire unit heater. According to the plans and Site Guide, the natural gas supply is sized to accommodate at least one additional warehouse space heater.	Good
Ventilation	The tenant restroom areas are exhausted to the outside. The warehouse area is ventilated during the cooling season with one (1) wall mounted exhaust fan and a pair of manually operated ceiling vents located at the roof apex. The tenant manually activates the fan as needed to reject heat from the area. Makeup air for the ventilation fans is drawn into the building through intake louvers as well as manual ceiling vents.	Good
Energy Management System	The building is not reportedly equipped with an energy management system.	N/A
Plumbing Piping	The domestic water piping was noted to be copper in the construction drawings. Copper piping was observed at the bathroom lavatories as well as water shut off valves and backflow preventer. The vent system is was not observed but noted PVC or optionally cast iron on the building plans. The underground sewer piping type is unknown.	Good
Plumbing Fixtures	The water closets and lavatories were noted as standard commercial grade porcelain.	Good
Water Heating System	According to the building plans, a single estimated 5 gallon natural gas fired hot water heater is provided. The water heater is not visible as it is installed above ceiling level and is equipped with a pressure and temperature relief valve piped to the janitorial basin directly below.	Good
<b>3.8 Electrical Systems</b>		
Service Size & Distribution	<p>Power is provided to the building through a pad-mounted transformer, owned and maintained by the public utility company. The service is fed under ground from the transformer to an external single meter and a local wire trough to two local main distribution panels for Henderson Mechanical. An additional conduit from the wire-way provides power to a single main distribution panel at the Canter Electrical tenant space. The power is a 208/120 volt 3 phase 4-wire system.</p> <p>The two panels at Henderson Mechanical are specified on the label as having a 200 ampere maximum main breaker each. The Canter Electric panel is similarly sized. Both of the panels at Henderson Mechanical have 225 ampere main</p>	<b>Follow-up Review</b>

<b>Wilbur's Widget Manufacturing Building</b>		
	breakers installed as specified in the construction plans. Armco recommends examination of this installation by an independent electrical contractor to assure proper matching of the main breakers specified and installed with the panel design maximums.	
Wire Type	The wiring in the facility was not directly observed. The construction plans indicate that copper branch wiring (120vac) should be installed.	Good
Exterior Lighting	The site lighting was accomplished through building mounted metal halide lights. The site lighting levels were observed and appeared to be adequate.	Good
Interior Lighting	The office areas were illuminated with fluorescent light fixtures. The warehouse areas were provided with high bay HID light fixtures. The lighting levels were observed and appear to be adequate.	Good
Emergency Power Service	An emergency power system is not present.	N/A
Lightning Protection	Not present	N/A
<b>3.9 Vertical Transportation</b>		
Number & Type	None present.	N/A
Manufacturer	None present.	N/A
Cab Size/Finishes & Door Type	None present.	N/A
Capacity	None present.	N/A
Speed (FPM)	None present.	N/A
Passenger & Service Elevator Equipment/Controls	None present.	N/A
Special Equipment	None present.	N/A
Maintenance Contractor	None present.	N/A
Status of Elevator Inspection or Certification	None present.	N/A
<b>3.10 Fire &amp; Life Safety Systems</b>		
Fire-Rated Construction	Not Determined	
Means of Egress	All means of egress appear to be properly light and identified with exit signs.	Good
Fire Sprinkler System	Not present	N/A
Smoke Evacuation System	Not present	N/A

<b>Wilbur's Widget Manufacturing Building</b>		
Alarms	No fire alarm or security system noted or reported	N/A
Fire Extinguishers	Fire extinguishers were observed through out the building in appropriate locations. The inspection tags were current on the devices observed. The fire extinguishers were serviced by Pye Barker Inc. in June 2012.	Good
Hydrants	Fire hydrants were observed along Doobiewood Drive and appeared to be in proper location to the building.	Good
Security Systems	None present.	N/A
<b>3.11 Specialties</b>		
Signage	None present.	N/A
Equipment	None present.	N/A
Loading Docks	The subject building has a single continuous loading area along the rear of the building including 2 drive-in type bays. Roll-up doors and equipment appeared to be in good condition.	Good
<b>4.0 ACCESSIBLE FACILITIES</b>		
Accessible Parking	The property has two designated handicap parking stalls, with associated striping and signage, located at the north side parking area alongside the office as well as at the north drive-lane boundary adjacent to the north security fence. <b>Striping was observed in poor condition.</b>	Good to Poor
Curb Ramps	The parking lot has a curb ramp near the designated handicap parking stall and access route.	Good
Exterior Accessible Route	Exterior accessible routes are available for the subject building from the designated handicap parking stalls to the front entries for both tenants.	Good
Entrance/Exit Doors	Accessible entrance doors are provided at the front office sections of the building.	Good
Interior Accessibility	<i>Interior accessibility in an industrial building is the responsibility of the tenant(s) and are not part of the scope of this analysis</i>	N/A
Public Restrooms	<i>Restrooms in an industrial building are the responsibility of the tenant(s) and are not part of the scope of this analysis.</i>	N/A
FHAA - Fair Housing Amendments Act	Not Applicable	N/A
<b>5.0 REGULATORY COMPLIANCE</b>		
Outstanding Building Dept. Violations or Permits	No outstanding building permits per Asheville Inspections online records: <a href="http://onlinedevcenter.Ashevilenc.gov/devservices/ePermits/ViewPermitsResults.aspx">http://onlinedevcenter.Ashevilenc.gov/devservices/ePermits/ViewPermitsResults.aspx</a> .	
Outstanding Fire Dept. Violations per prior Inspections	Per the City of Asheville Fire Marshal's office, Inspections have not been conducted at the site since the original CO issuance. Request for clarification has been made with the Assistant Fire Marshal Charles Williams at (919)-996-6115.	
Zoning Classification	Property is zoned TD (Thoroughfare District) per Marsh County GIS mapping and Marsh County Tax Records. The Land use is permitted per Asheville definitions	



**SITE LOCATION MAP**

DRAWING NOT TO SCALE



Site Name: Wilbur's Widget Mfg. Inc.  
 1234 Doobiewood Drive  
 Asheville, NC

Project Number: 12-14211.1



APPENDIX A



**SITE PLAN**

**DRAWING NOT TO SCALE**



**Site Name:** Wilbur's Widget Mfg.  
1234 Doobietown  
Asheville, NC

**Project Number:** 12-14211.1



1. Front (east) elevation



2. Right side (north) elevation – twin split heat pumps and utilities



3. Left (south) elevation – parallel to drainage ditch – tenant HVAC



4. Rear (west) elevation and loading/service areas



5. ADA parking at north parking lot



6. Asphalt driveway at Fleetwood Drive

## APPENDIX A: SITE PHOTOGRAPHS

Site Address:

**Wilbur's Widget Manufacturing, Inc.**  
 1234 Doobiewood Drive  
 Asheville, North Carolina 27909



**10928 Bent Branch Drive**  
 Raleigh, NC 27603  
 Project No. 12-14211.1





7. Asphalt front drive lane and parking – wood curbing



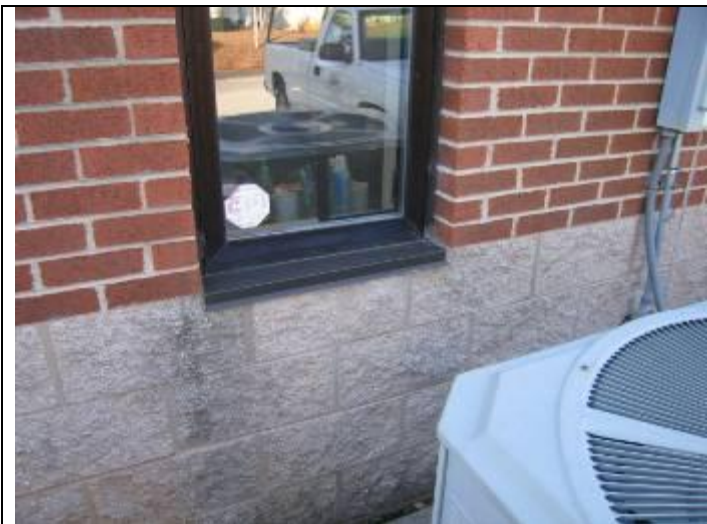
8. Rear service/staging area with asphalt paving in typical good to fair condition



9. Front walkway typical of good flatwork condition



10. Rear service doors in good condition – typical exterior lighting



11. North elevation fixed aluminum framed window with deteriorated caulk



12. Damaged caulk will permit stormwater to wall interior cavity

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**10928 Bent Branch Drive**  
 Raleigh, NC 27603  
 Project No. 12-0909.1





13. Front entry with storefront style doorframes with full height glass insulating panels (one of two)



14. North side service entrance adjacent to utility meters (electric and gas)



15. Rear loading area sectional door in good condition



16. Canopy framing in good condition – some loose metal trim at upper right



17. Rip-rap lined drainage ditch at south parcel border and parallel to south building elevation



18. Overgrown conditions between building in drainage ditch

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 1234 Doobiewood Drive  
 Asheville, North Carolina 27909



**10928 Bent Branch Drive**  
 Raleigh, NC 27603  
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19. Additional view of vegetation at south elevation



20. Area of wall separation/settlement



21. Separation of south elevation expansion joint



22. Through-block and stair-step cracking at south elevation



23. Through-block and stair-step cracking at south elevation



24. Through-block and stair-step cracking at south elevation

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25. Canter Electric storage area adjacent to south elevation wall



26. South elevation wall interior view with cracking through block at upper center and continuing in stair-step



27. Entry lobby view



28. Central office area



29. Central office area



30. ADA toilet entry

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**10928 Bent Branch Drive**  
Raleigh, NC 27603  
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31. ADA toilet entry



32. ADA toilet entry at



33. Warehouse/loading bay and rear service doors – fire extinguisher current



34. Warehouse area steel framing and HID lighting – insulated roof deck



35. Warehouse area steel framing detail and exhaust fan at north wall



36. Structural columns with isolated foundations

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**10928 Bent Branch Drive**  
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Project No. 12-0909.1



37. Natural gas fired space heater (gas supply design capacity is for two heaters per construction drawings)



38. ceiling located manual ventilation (one of two)



39. East wall in Wilbur's Widget Mfg. warehouse area with access to offices, ADA warehouse toilet, etc



40. ADA toilet for warehouse staff



41. Water supply shut-off with back flow prevention



42. Twin main service panels at Wilbur's Widget Mfg. with 200 ampere maximum buss ratings per panel and 225 ampere main breakers installed.

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